#### LOGAN - CACHE AIRPORT AUTHORITY BOARD MEETING MAY 3, 2017 MINUTES

The Logan-Cache Airport Authority Board convened in a regular session on May 3, 2017 at 7:30 a.m. in the Cache County Historic Courthouse, County Council Chambers, 199 North Main, Logan, Utah.

#### **ATTENDANCE**

#### **Members of the Airport Authority Board in Attendance:**

John Kerr – Chairman H. Craig Petersen – Logan City Mayor Craig W Buttars – Cache County Executive Jeannie F. Simmonds – Logan City Council Bill Francis

#### **Members of the Airport Authority Board Absent:**

Gar Walton
Karl Ward – Cache County Council

#### Also in Attendance:

Aaron Dyches – Utah State University
Andreas Wesemann – Utah State University
Matt Bunnell – Utah State University
Susan Crosbie – Utah State University
Kim Hall – Leading Edge Aviation
Scott Weaver – Leading Edge Aviation
Brady Hansen – Logan Fire Department
Zan Murray – J-U-B Engineers
Mike Carr – Armstrong Consultants
David Hartman – Armstrong Consultants
Jesse Fabula – Armstrong Consultants
Janeen Allen

#### **CALL TO ORDER**

Chairman John Kerr called the meeting to order at 7:30 a.m.

#### **ITEMS OF BUSINESS**

Approval of Minutes – April 5, 2017

ACTION: Motion was made by Francis and seconded by Simmonds to approve the minutes of April 5, 2017 as written. The vote in favor was unanimous, 5-0, with 2 absent

#### **ITEMS FOR DISCUSSION**

#### **Manager Report**

Lee Ivie presented the Manager Report which is part of these minutes as "Attachment A."

#### **Summer Construction Projects – Armstrong**

Mike Carr and David Hartman from Armstrong Consultants gave a presentation updating the board on construction projects that will take place at the airport this summer. The presentation is part of these minutes as "Attachment B."

The Taxiway Charlie and apron project is currently in the bid process. Kristen Brownson, FAA Program Manager, will then work with the Airport Authority through the grant process. A portion of Taxiway Charlie and the north apron will be included in the first phase. Armstrong anticipates the construction period to be 60 days and will work to keep Taxiway Delta open for as long as they can but it will have to be closed for some time during the construction. Hangars on Taxiway Juliet will have to taxi on 10/28. Francis said a letter should go out to the hangar owners especially on Juliet so they can anticipate the closures during construction.

Armstrong will also be working to update the AOP and Master Plan this summer using part of the grant funding from the FAA.

The Cache Valley Electric hangar removal and construction project is in the design process right now. It is anticipated that the funding for this project will come from future grants. The visual for this project is a part of these minutes as "Attachment C."

#### 30-Year Lease - Bill Francis

Kerr said there have been some requests for leases that extend beyond the normal 10-year period the airport currently uses.

Francis explained that people are borrowing money on leased land and banks want an assurance that the land will be in their possession for 30 years. The FAA has a limit of 50 years for leases, so the airport could go anywhere from 10 to 50 years if they like. Simmonds asked if there is a provision in the lease that addresses changes over the course of 30 years such as safety issues. Francis said safety issues are covered and the lease includes a built-in 2% rate increase per year.

lvie noted that the leases should be flexible enough to anticipate future airport development and the compliance issues that come with it. Kerr added that any other increase in addition to the 2% rate increase per year should be included in the language of the lease.

ACTION: Motion was made by Francis and seconded by Buttars to allow the extension of leases to 30 years.

DISCUSSION ON THE MOTION: Simmonds asked to have time to review the lease before approving it. Ivie said he would send it to all the board members for review.

No vote was taken and the issue was tabled to give the board members time to review the lease before it is approved.

#### **Committee Reports**

Audit & Finance – Craig Buttars
No Report

Operations Committee – Kim Hall No Report

Capital Improvements - Bill Francis No Report

**Economic Development / Public Relations – Gar Walton**No Report

#### **Open Items**

lvie asked for permission to send a letter to the Electric Battery company letting them know they are approved and can move forward with permitting. The board told him to send the letter.

Kerr brought up a conflict with the appointment of Karl Ward, who was appointed to serve replacing Val Potter. Ward cannot meet on Wednesday mornings, so Kerr asked the board members if there is another time they can meet. After some discussion, it was determined that the Airport Authority Board would meet the first Thursday of each month at 8:30 a.m.

Ivie noted that Leading Edge's lease expires in July.

#### **Next Meeting**

Thursday, June 8, 2017 at 8:30 a.m.

#### Adjournment

The meeting adjourned at 8:34 a.m.

# **ATTACHMENT A**



#### **April 2017 Manager's Report**

#### 1. Current AIP Projects.

- a. FAA Project #3-49-0016-028-2016 Taxiway C & Northwest Ramp Rehabilitation. A pre-bid meeting is scheduled for May 10, 2017 at the airport, and bids for this project will be opened on the 24<sup>th</sup> of May at 11:00 a.m. at the county council chamber room. At the present time I still don't have a grant for the construction phase of this project. I'm hoping to have that document from the ADO prior to the opening of bids.
- **b.** Taxiway I, CVE Hangar Project: Core samples have been taken where the taxilane is to be built, and we are currently working with Armstrong Consultants to provide floor elevations and corner latitude & longitude reference points for the two buildings to be constructed next to the taxilane.

#### 2. Buildings, Grounds, and Vehicle Maintenance.

- a. All areas that are usually sprayed for weed control have been sprayed. Due the amount of rain in April some ruts will have to be filled in where the four wheelers sunk during the procedure. Additionally a FAA vehicle got stuck in the field north of taxiway bravo, and some ruts need to smoothed over at that location.
- b. Two hangars were damaged as a result of being struck by vehicles in April. The first was building # A8 owned by Mike Chalmers. Apparently a trailer of some sort was backed into the front corner of the building causing the bottom plate to slide off of the concrete slab and the wall of the building to sag. Once the wall was moved back in place and secured to the slab the main doors had to be re-adjusted. We don't know who was responsible for these damages but tire tracks were left behind to indicate what had happened. The second hangar that was damaged is building # FL3 owned by Jr. Miller. The corner of his hangar and gas meter was struck by a runaway aircraft. This airplane was in the process of being prop started and the owner lost control of the aircraft once the engine turned over.
- c. The GMC maintenance vehicle had to have a new alternator installed, and the status of the airport snow removal equipment is the same as reported in March.
- d. We expect to have delivery of a case tractor from Valley Implement the first week of May. This tractor will be leased for the summer, and used primarily for mowing purposes.

#### 3. 139 Cert. Inspection.

The annual 139 safety inspection of the airport was conducted in April. An official report of findings and discrepancies has not been sent to me, but I expect that report to contain these items.

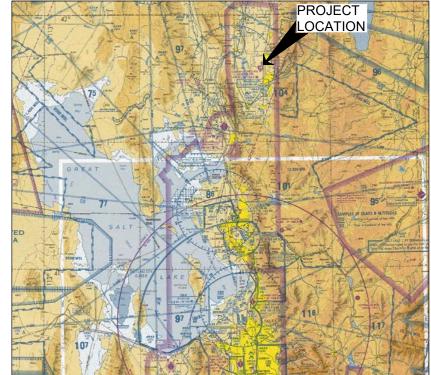
a. Ponding water in portions of movement area safety regions. Grading issues will need to be addressed in our CIP plans.

- b. Edge of pavement at the northeast end of runway 17 has a drop that exceeds 3 inches due to plowing operations. This discrepancy can easily be rectified once we get the tractor with a front end bucket attachment.
- c. Weekends and other times where the airport manager is absent from the airport, the daily inspections are lacking information and reports are not being filed on the NOTAM Manager system.
- d. Due to large amount of bird activity at the airport a committee needs to be formed to conduct annual reviews of the wildlife management plan.
- e. Paint on runways and taxiways lifting in certain areas.
- f. Illuminated signs in airport movement areas need to be upgraded.

#### 4. Off Airport Obstruction.

A new tower has been erected about a quarter mile southeast of runway 35. This structure is right in between the approach zones of runway 35 and runway 28 but not in either zone. I spoke with an employee of Soaring Eagle (the company that built the structure), and he informed me that the tower would only be there temporarily, that being two to three months or until a buyer purchased it. The 135 foot high zip line tower is lighted and has flags at the top. A7460-1 form was not submitted to the FAA regarding this structure, and a building permit was not obtained from North Logan for the construction of the tower. I've contacted the Denver ADO regarding this matter, and issued a NOTAM depicting the location and height of the tower. I've also contacted the owner of the tower to notify him that a 7460-1 form regarding off airport construction needs to be submitted to the FAA. There has still not been a case number issued from the FAA pertaining to this structure. It seems that no 7460-1 form has been submitted to the FAA.

# **ATTACHMENT B**



# Logan-Cache Airport Logan, Utah

### CONSTRUCTION DRAWINGS

A.I.P. #3-49-0016-029-2017 A.C.I. PROJECT NO. 166369

ARMSTRONG CONSULTANTS, INC. **APRIL**, 2017

DATE

REVIEWED BY AND PREPARED UNDER MY DIRECT SUPERVISION:

DESIGNED BY:

REGISTERED PROFESSIONAL ENGINEER

DATE

#### SCHEDULE I

REHABILITATE A PORTION OF APRON

#### SCHEDULE II

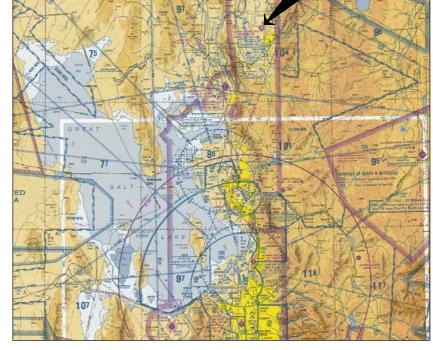
REHABILITATE A PORTION OF TAXIWAY C

#### **INDEX TO SHEETS**

OVER SHEET	1.1
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XISTING STORM DRAIN PLAN	7.1
GHTING & SIGNAGE PLAN	8.1
GHTING & SIGNAGE DETAILS	8.2
ONSTRUCTION SAFETY & PHASING PLAN	ATTACHED

SHEET 1.1





SCHEDULE II SCHEDULE I

#### **LEGEND** EXISTING SPOT ELEVATION x 99.99 PROPOSED FINISHED GRADE ELEVATION EXISTING GROUND CONTOUR (5' INTERVAL) PROPOSED GROUND CONTOUR (1' INTERVAL) EXISTING FEATURE NOTED PROPOSED FEATURE NOTED EXISTING RUNWAY EDGE LIGHT • PROPOSED RUNWAY EDGE LIGHT EXISTING RETROREFLECTIVE MARKER PROPOSED TAXIWAY RETROREFLECTIVE MARKER 0 $\Theta$ EXISTING TAXIWAY EDGE LIGHT PROPOSED TAXIWAY EDGE LIGHT $\Diamond$ EXISTING SPLICE BASE PROPOSED SPLICE BASE EXISTING AIRFIELD SIGN PROPOSED AIRFIELD SIGN CΦΩ EXISTING BEACON PROPOSED BEACON AND TOWER EXISTING WIND CONF PROPOSED LIGHTED WIND CONE EXISTING SEGMENTED CIRCLE PROPOSED SEGMENTED CIRCLE $\boxtimes$ EXISTING PAPI / VASI PROPOSED PAPI $\triangleright$ ↩ EXISTING AWOS/ASOS/UNICOM PROPOSED AWOS EXISTING TIEDOWN ANCHOR PROPOSED SUPPLEMENTAL WIND CONE **-**EXISTING UTILITY POLE PROPOSED AREA LIGHT (S) EXISTING AREA LIGHT PROPOSED TIEDOWN ANCHOR EXISTING TELEPHONE RISER PROPOSED ELECTRIC TRANSFORMER Δ EXISTING PAD MOUNTED TRANSFORMER PROPOSED FIRE HYDRANT $\Box$ EXISTING FIRE HYDRANT PROPOSED WATER VALVE EXISTING WATER VALVE PROPOSED STORM DRAIN INLET EXISTING TREE PROPOSED SANITARY SEWER CLEAN-OUT EXISTING ROAD SIGN(S) PROPOSED MANHOLE EXISTING GUY PROPOSED SURVEY MONUMENT EXISTING PROPERTY CORNER PIN/CAP 0 PROPOSED AIRFIELD POWER CABLE(S) EXISTING BLOW OFF VALVE PROPOSED CULVERT w/END SECTIONS EXISTING AREA INLET PROPOSED CONCRETE ENCASED DUCT BANK EXISTING MANHOLE PROPOSED BARBED WIRE FENCE EXISTING SECTION CORNER EXISTING SURVEY CONTROL MONUMENT PROPOSED CHAINLINK FENCE 卒 PROPOSED WILDLIFE FENCE PROPOSED SANITARY SEWER LINE \_\_\_\_\_ **⊭====** EXISTING CULVERT PROPOSED STORM DRAIN LINE PROPOSED COUNTERPOISE CABLE EXISTING SWALE DIRECTION PROPOSED WATERLINE EXISTING BARB WIRE FENCE EXISTING CHAINLINK FENCE PROPOSED UNDERDRAIN EXISTING WILDLIFE FENCE \_\_\_\_\_ EXISTING SANITARY SEWER LINE PROPOSED SEDIMENT LOG EXISTING STORM DRAIN LINE PROPOSED SILT FENCE EXISTING OVERHEAD POWER CABLE PROPOSED SWALE DIRECTION PROPOSED CONCRETE PAVEMENT EXISTING FIBER OPTIC CABLE ---- w---- EXISTING WATER LINE PROPOSED ASPHALT PAVEMENT PROPOSED ASPHALT PAVEMENT OVERLAY EXISTING UNDERGROUND POWER OR TELE. LINE PROPOSED ASPHALT REMOVAL EXISTING UNDERDRAIN PROPOSED ROCK RIPRAP ---- EXISTING ASPHALT PAVEMENT EDGE PROPOSED BUILDING — — — — EXISTING CONCRETE PAVEMENT EDGE PROPOSED SEEDING AREA PROPOSED GRADING AREA EXISTING ASPHALT PAVEMENT EXISTING CONCRETE PAVEMENT EXISTING GRAVEL EXISTING WETLANDS

NOTE: LEGEND APPLIES TO ALL SHEETS IN THIS PLAN SET, IS GENERIC, AND NOT ALL SYMBOLS MAY BE IN PLAN SHEETS.

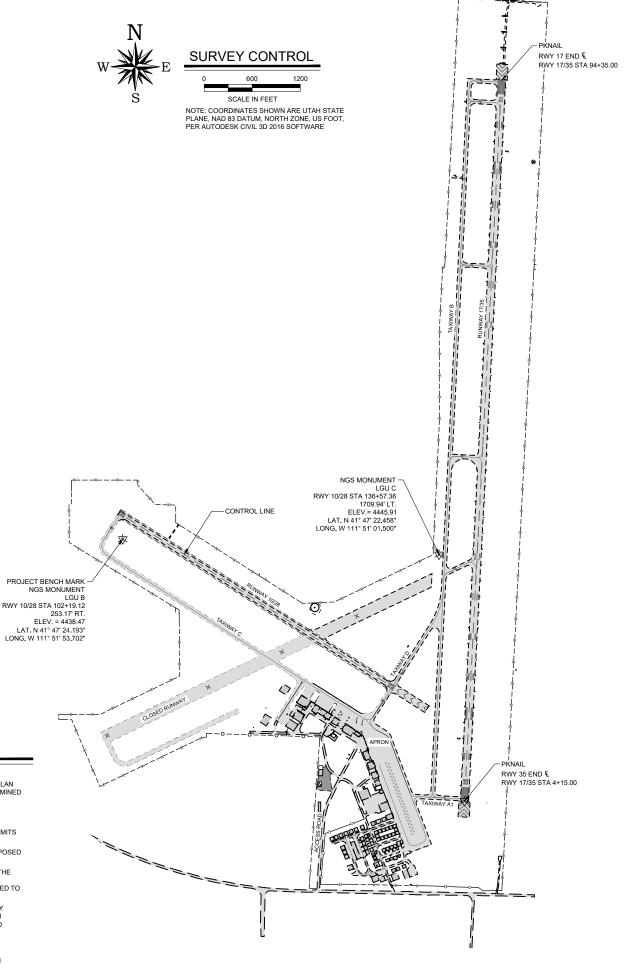
#### **CAUTION - NOTICE TO CONTRACTOR**

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION, AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS IN THE FIELD. THE INFORMATION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR AND IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL UTAH 811 (1-800-662-4111) AT LEAST 48 HOURS BEFORE ANY EXCAVATION / EMBANKMENT TO REQUEST FIELD LOCATION

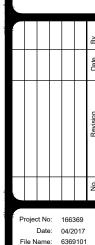


#### **GENERAL NOTES**

- SURVEY CONTROL POINTS ARE SHOWN ON THIS SHEET
- ESTIMATED QUANTITIES ARE CONSIDERED APPROXIMATE ONLY EXCEPT WHERE PLAN QUANTITIES ARE SPECIFIED FOR PAYMENT. ACTUAL QUANTITIES SHALL BE DETERMINED BY FIELD MEASUREMENT OR SPECIFICATIONS.
- THE CONTRACTOR SHALL PROVIDE MATERIAL SUBMITTALS FOR THE ENGINEER'S APPROVAL PRIOR TO ORDERING.
- 4. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY CONSTRUCTION PERMITS
- 5. THE CONTRACTOR SHALL BE REQUIRED TO SUBMIT A WORK SCHEDULE AND PROPOSED CONSTRUCTION METHODS AT THE PRE-CONSTRUCTION CONFERENCE
- 6. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM AIRPORT MANAGEMENT AND THE ENGINEER PRIOR TO ESTABLISHING CONSTRUCTION ACCESS OR HAUL ROADS. EXISTING PAVEMENT SURFACES OTHER THAN AIRFIELD PAVEMENTS SHALL BE USED TO THE MAXIMUM EXTENT POSSIBLE.
- 7. THE CONTRACTOR SHALL MINIMIZE DISTURBANCE INCLUDING RUTS PRODUCED BY VEHICLES AND EQUIPMENT IN NON-PAVEMENT AREAS WITHIN ALL CONSTRUCTION AREAS. ALL DISTURBED AREAS IN THESE LOCATIONS SHALL BE RECLAIMED AT NO ADDITIONAL COST TO THE SPONSOR. DAMAGE CAUSED TO EXISTING AIRFIELD PAVEMENT OR FACILITIES DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE SPONSOR
- CONTRACTOR SHALL COORDINATE ALL ON-SITE WASTE MATERIAL DISPOSAL WITH ENGINEER AND AIRPORT.

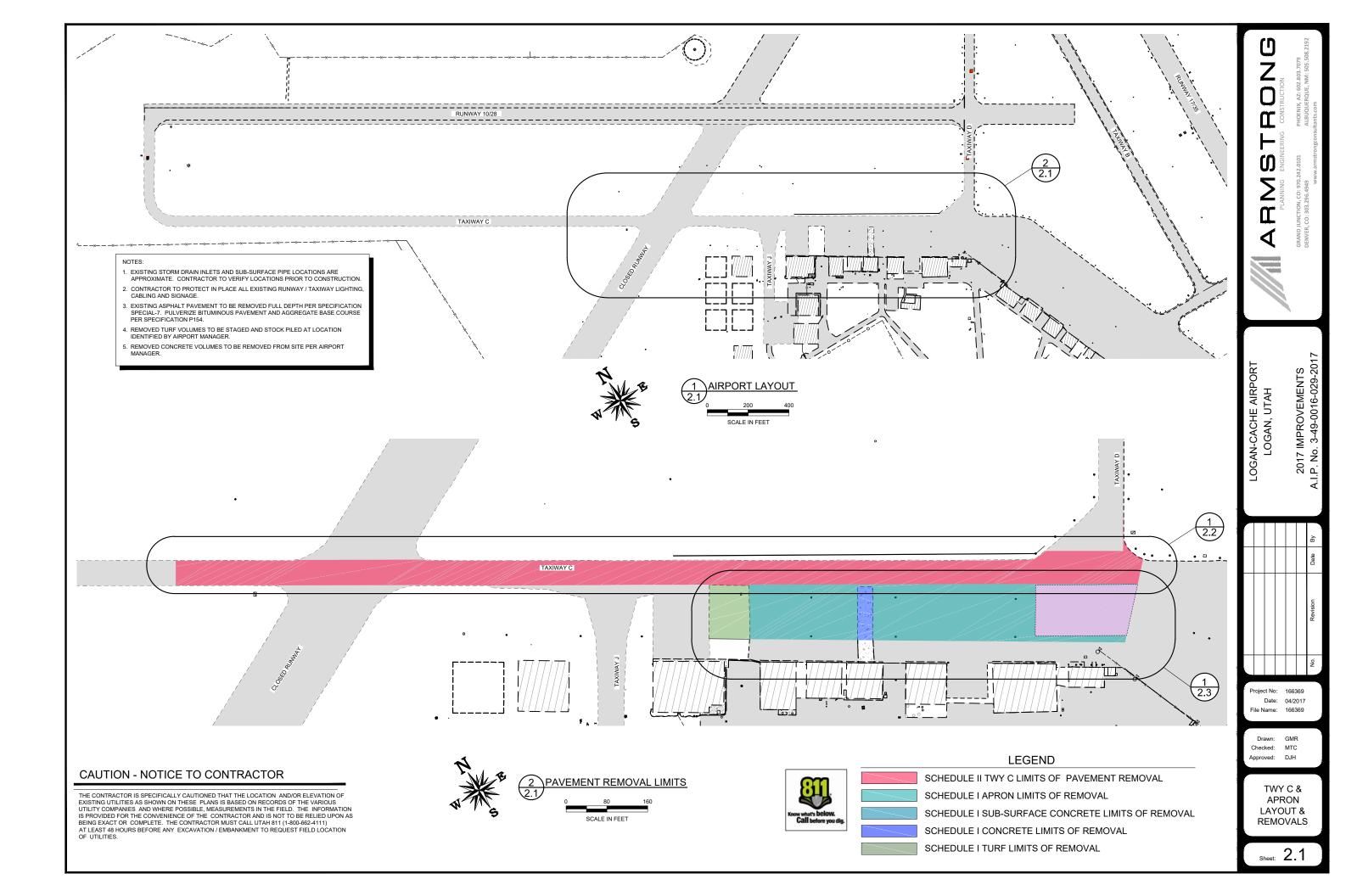


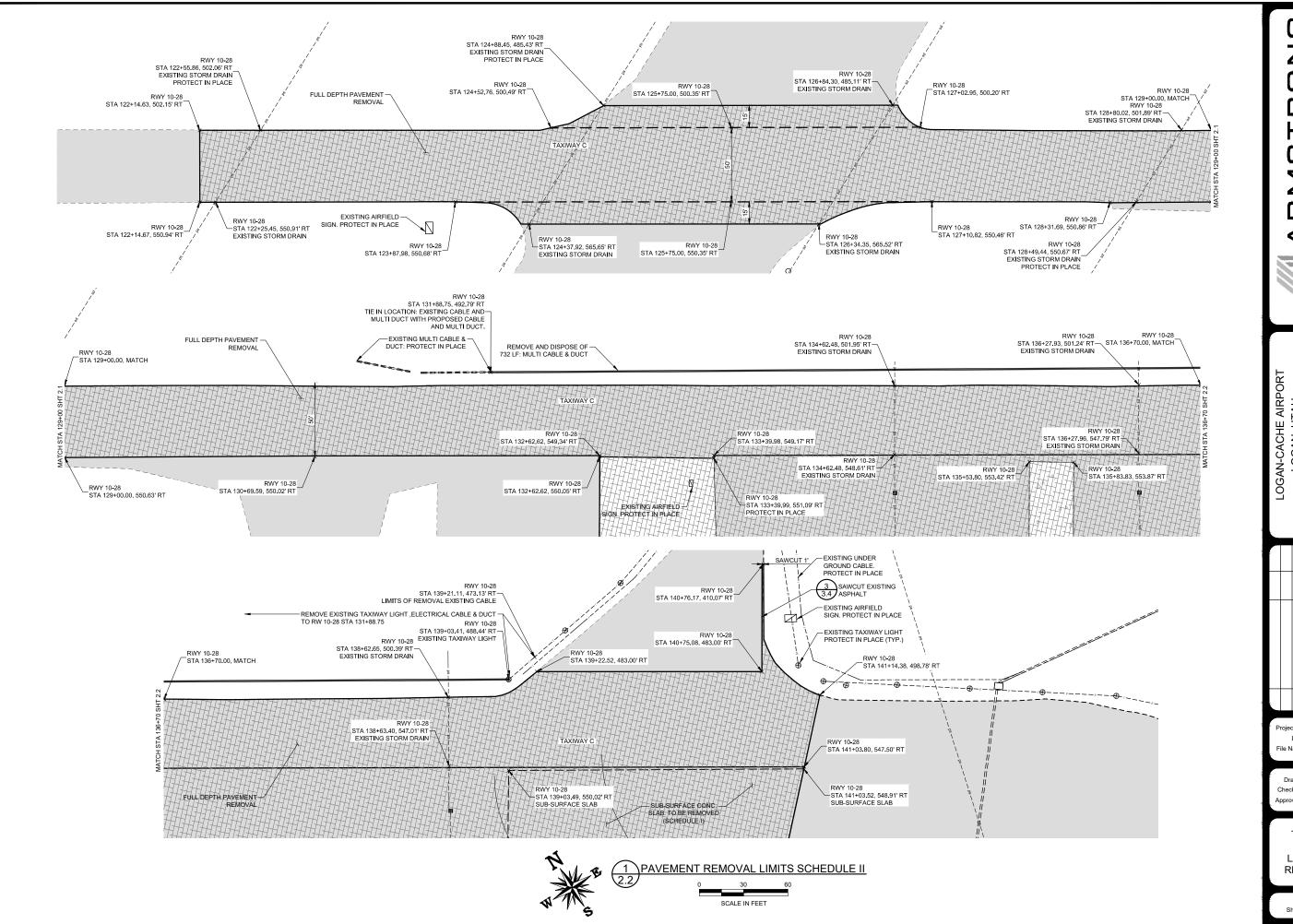
OGAN-CACHE AIRPO UTAH



Checked: MTC Approved: D.IH

**GENERAL** NOTES, **LEGEND &** SURVEY CONTROL





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LOGAN-CACHE AIRPORT LOGAN, UTAH

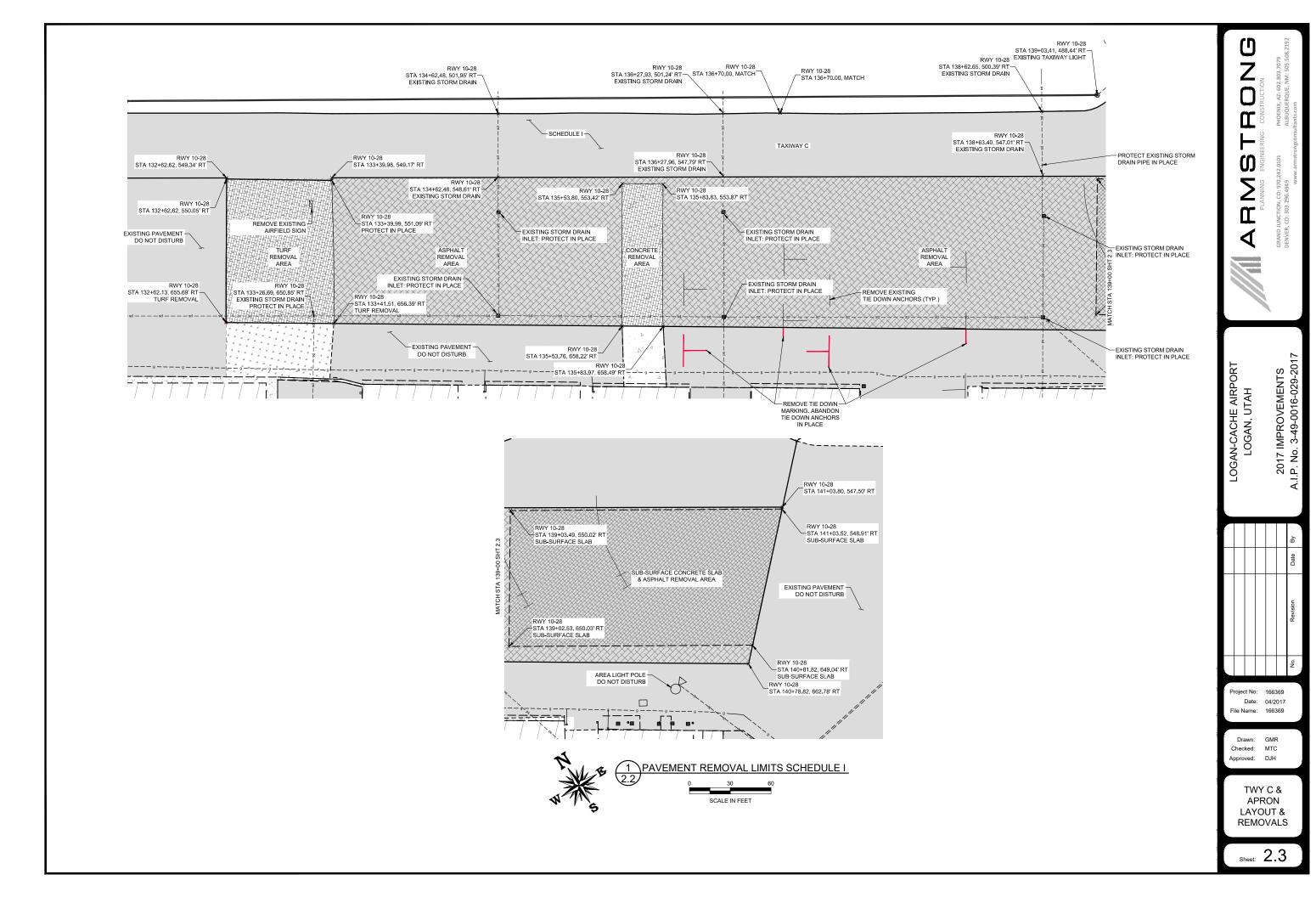
2017 IMPROVEMENTS I.P. No. 3-49-0016-029-2017

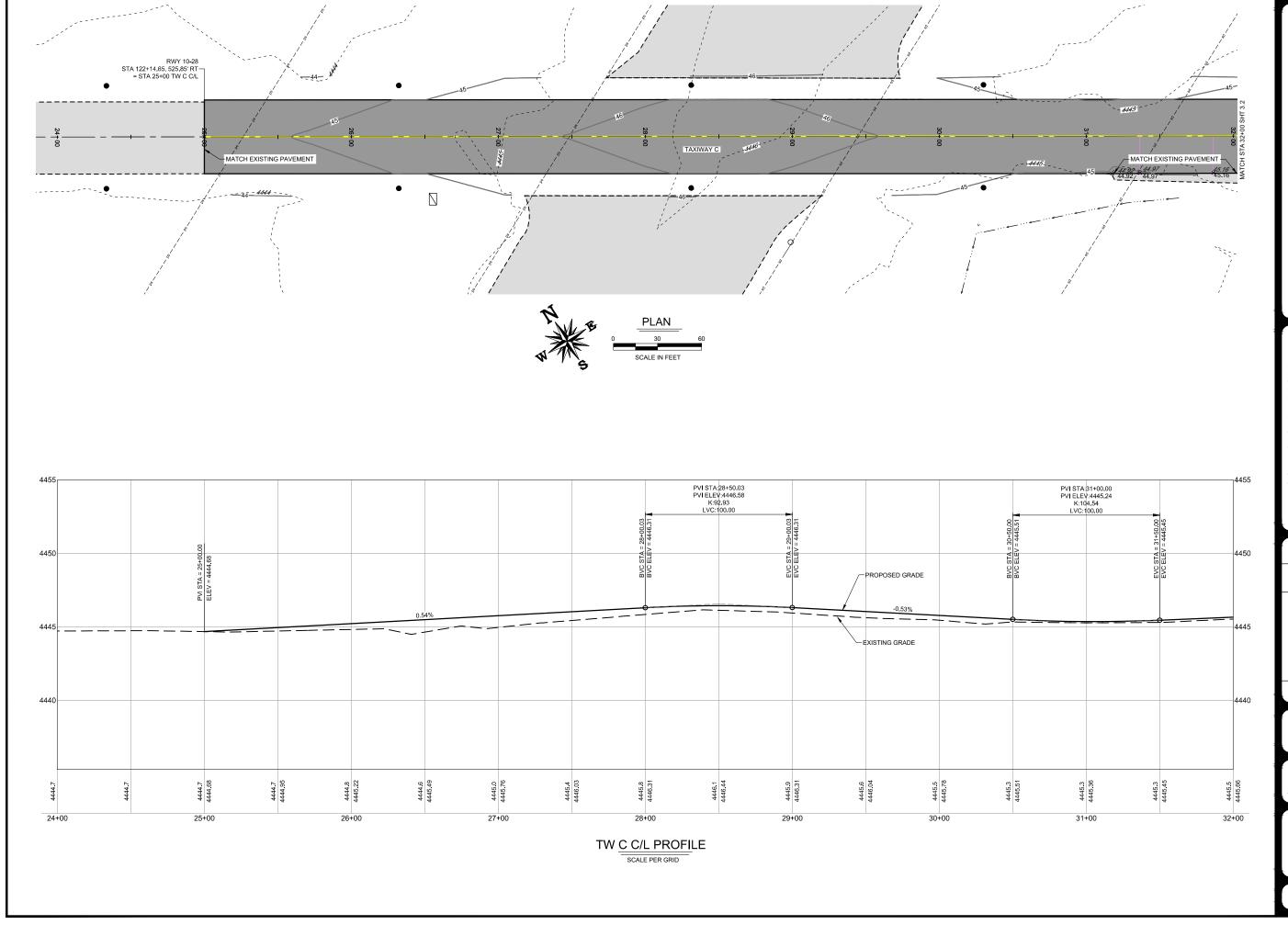
Project No: 166369

Date: 04/2017 File Name: 166369

Checked: MTC Approved: DJH

TWY C & APRON LAYOUT & REMOVALS





APMSTERING CONSTRUCTION
PLANNING ENGINEERING CONSTRUCTION
GRAND JUNCTION, CO: 970, 242, 0101 PHOENIX, A2: 602, 803, 7079
DENVER, CO: 303, 296, 4949 ALBUQUERQUE, NW: 505, 508, 2192
www.armstrongconsultants.com

LOGAN-CACHE AIRPORT LOGAN, UTAH 2017 IMPROVEMENTS .I.P. No. 3-49-0016-029-201

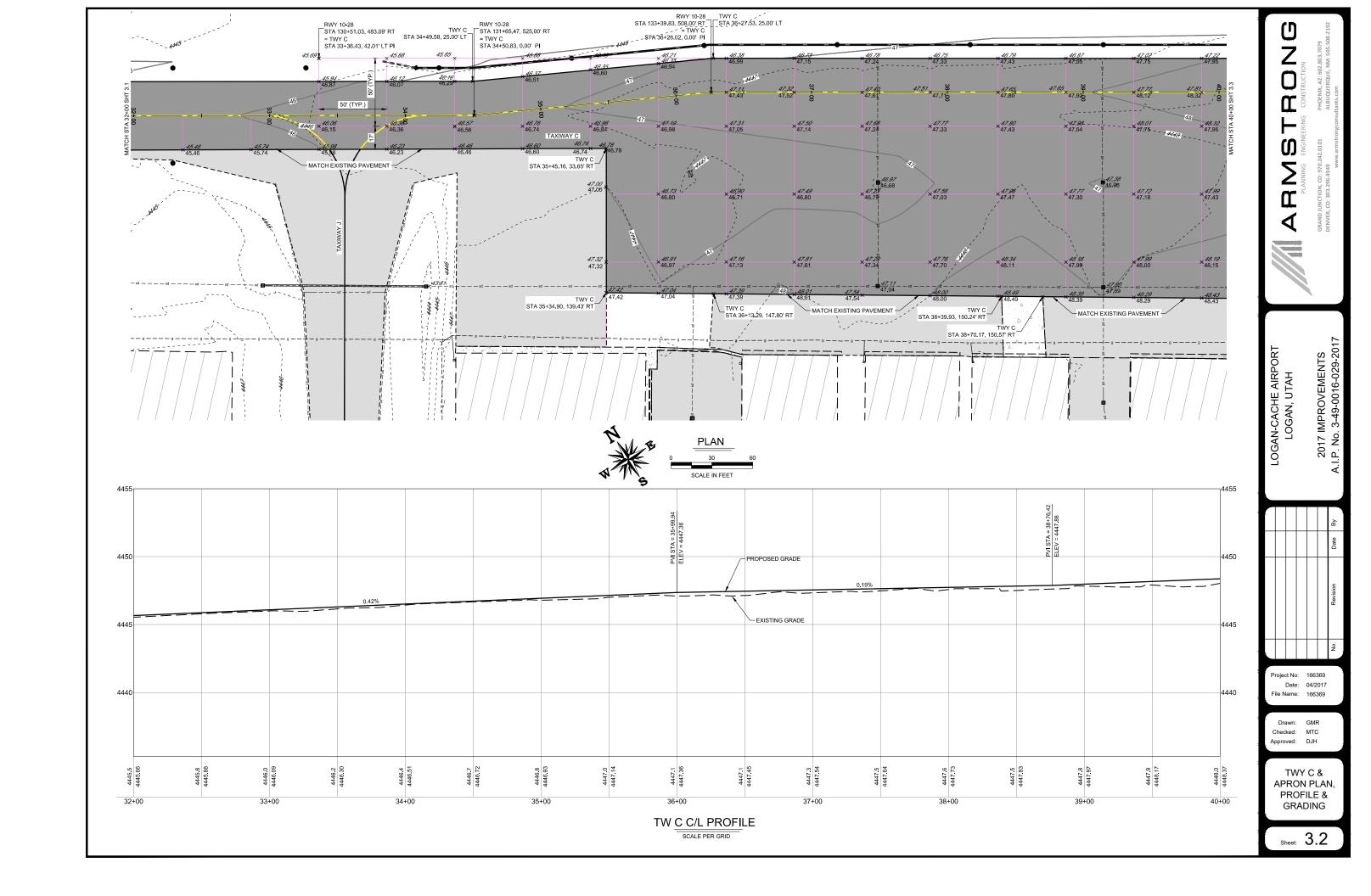
No. Revision Date By

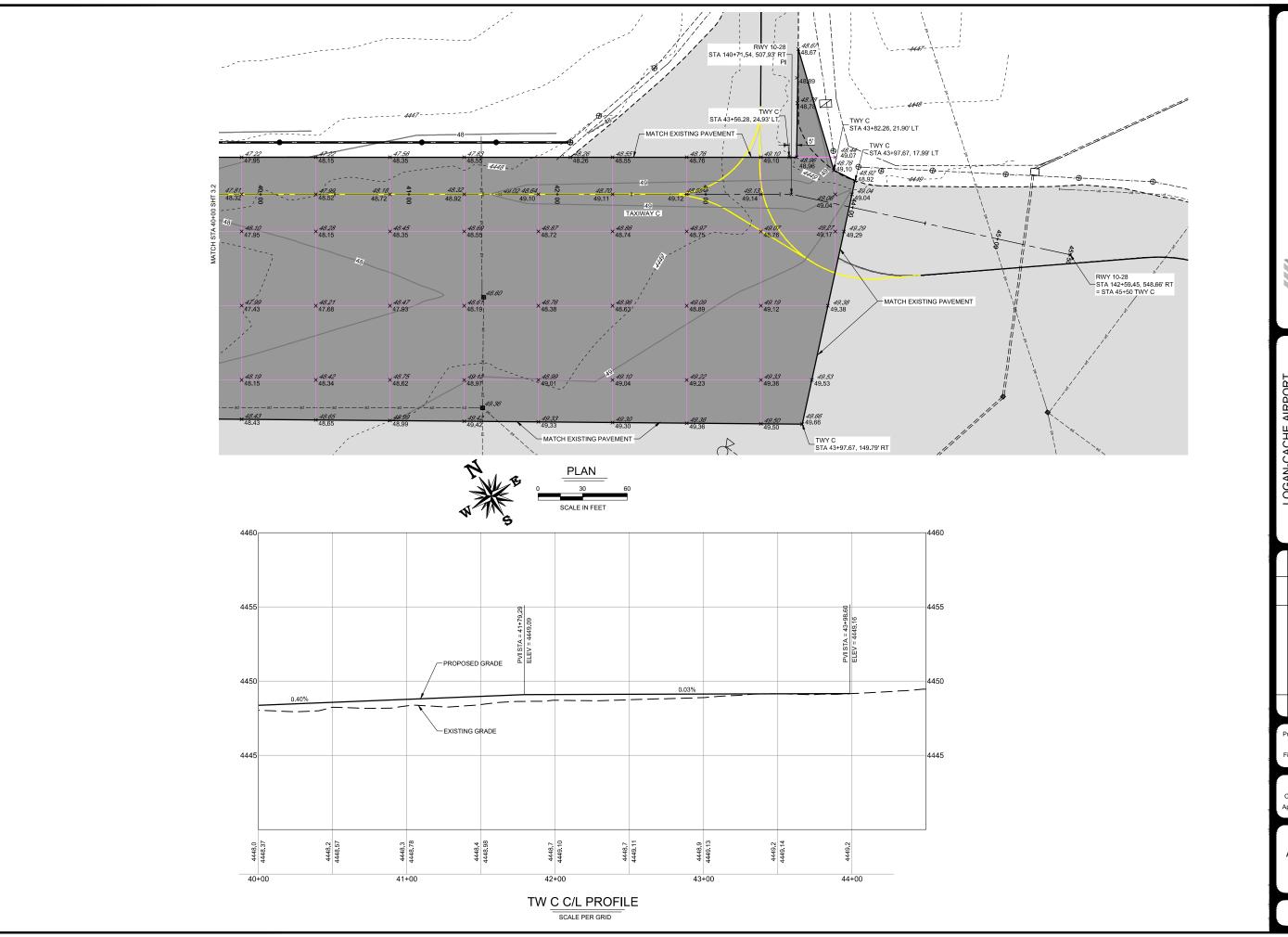
Project No: 166369
Date: 04/2017
File Name: 166369

Drawn: GMR Checked: MTC Approved: DJH

TWY C & APRON PLAN, PROFILE & GRADING

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APNONING ENGINEERING CONSTRUCTION
GRAND JUNCTION, CO: 970,242,0101 PHOENIX, AZ: 602,803,7079
DENVER, CO: 303,296,4949 ABUQUERQUE, NM: 505,508,2192

LOGAN-CACHE AIRPORI LOGAN, UTAH

No. Technical Mon. 168380

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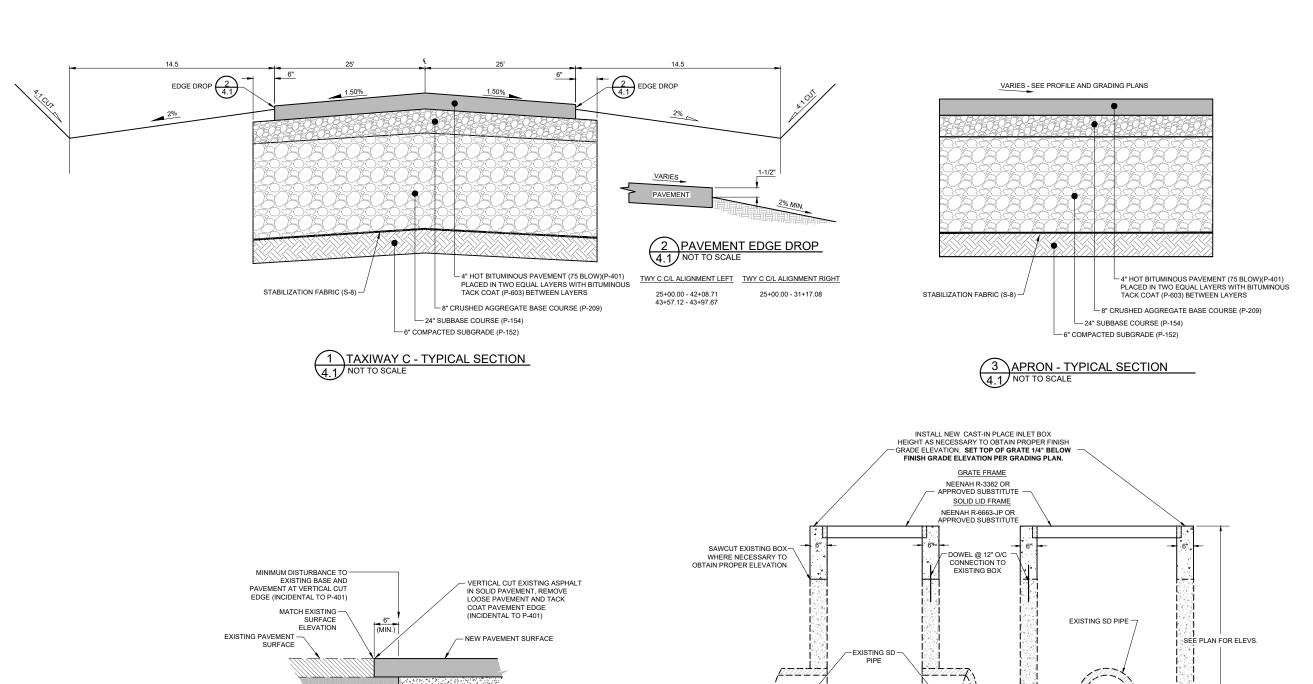
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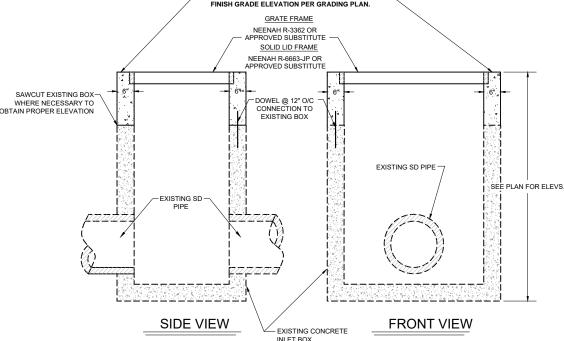
TWY C & APRON PLAN, PROFILE & GRADING

Sheet: **3.3** 



UNDISTURBED EXISTING BASE

4 JOINT AT EXISTING PAVEMENT EDGE 4.1 NOT TO SCALE



5 RECONSTRUCT INLET TOP 4.1 NOT TO SCALE

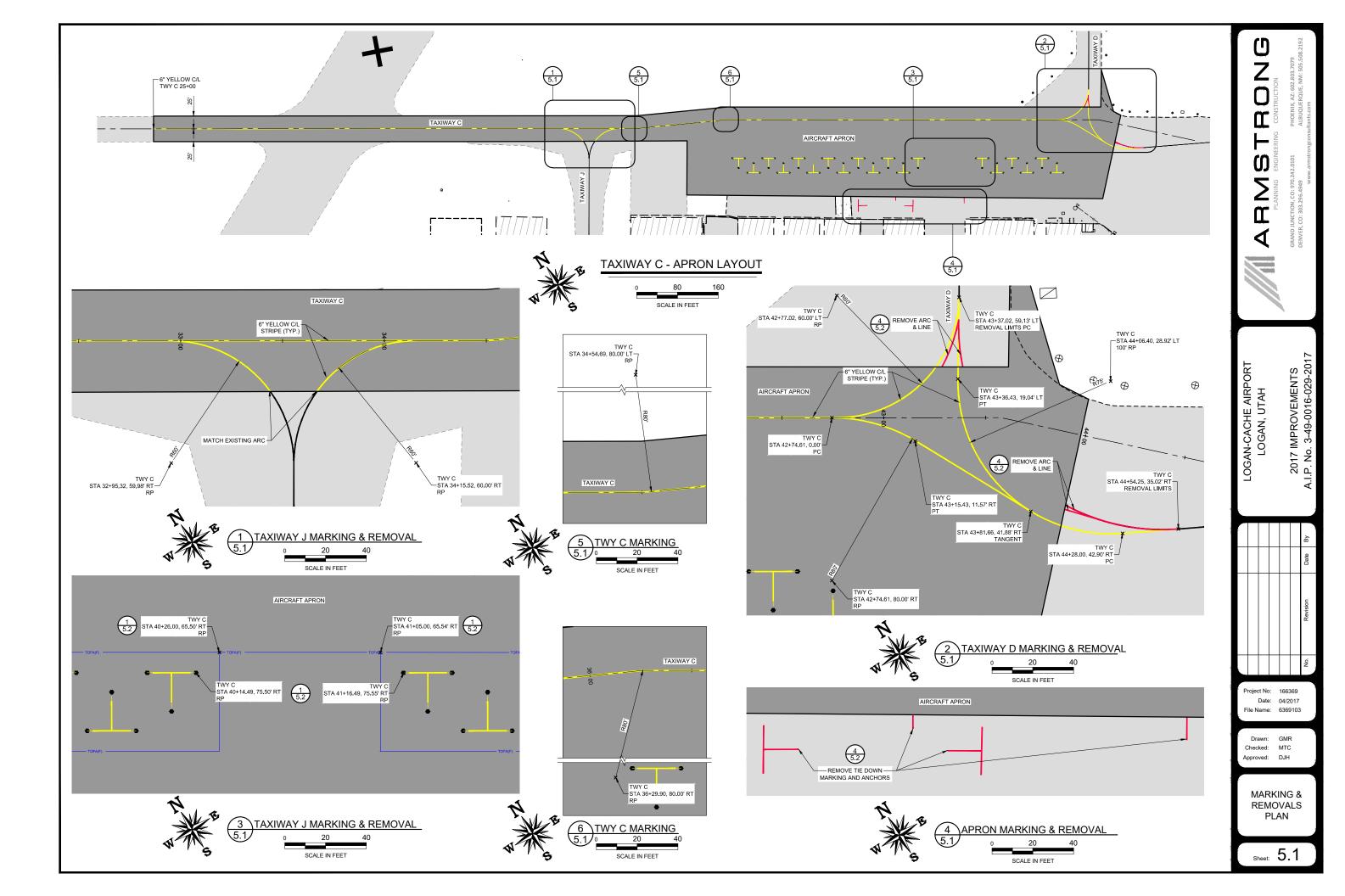
2017 IMPROVEMENTS .P. No. 3-49-0016-029-2017

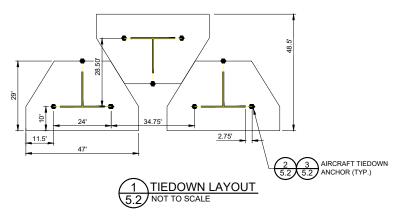
LOGAN-CACHE AIRPORT LOGAN, UTAH

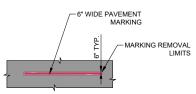
Project No: 166369 Date: 04/2017 File Name: 6369103

Checked: MTC Approved: DJH

TWY C & APRON **TYPICAL SECTIONS & DETAILS** 



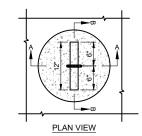


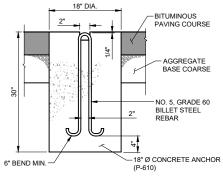




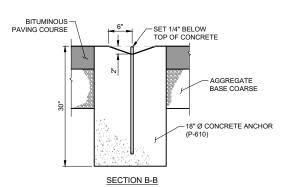
NOTES:

ALL MARKING REMOVAL TO EXTEND 0.5' (6 INCHES) BEYOND EXISTING MARKING EDGE.

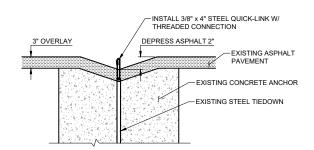




SECTION A-A



#### 2 AIRCRAFT TIEDOWN DETAIL 5.2 NOT TO SCALE







LOGAN-CACHE AIRPORT LOGAN, UTAH 2017 IMPROVEMENTS A.I.P. No. 3-49-0016-029-2017

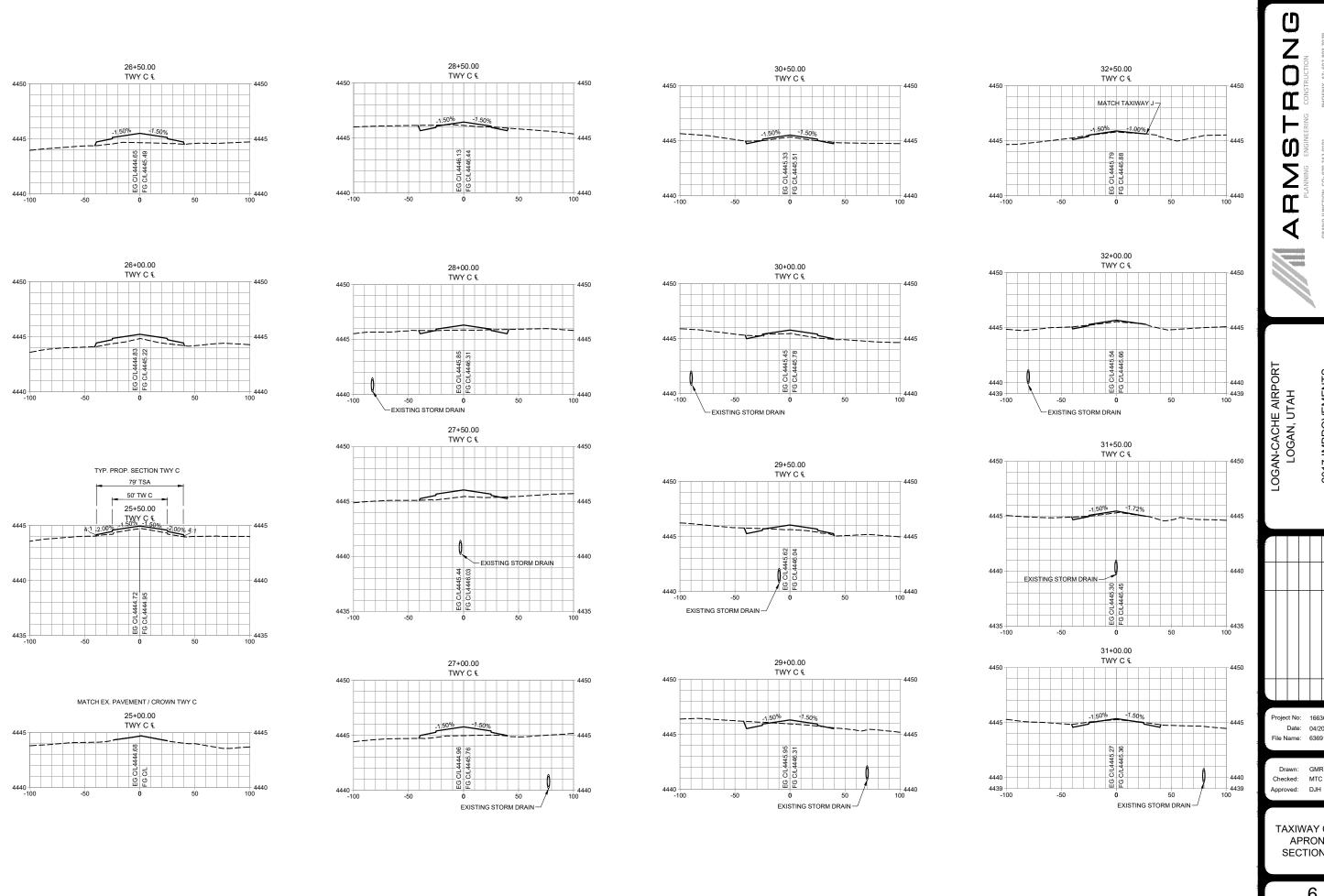
Project No: 166369

Date: 04/2017
File Name: 6369103

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Approved: DJH

MARKING & REMOVAL DETAILS

5 2

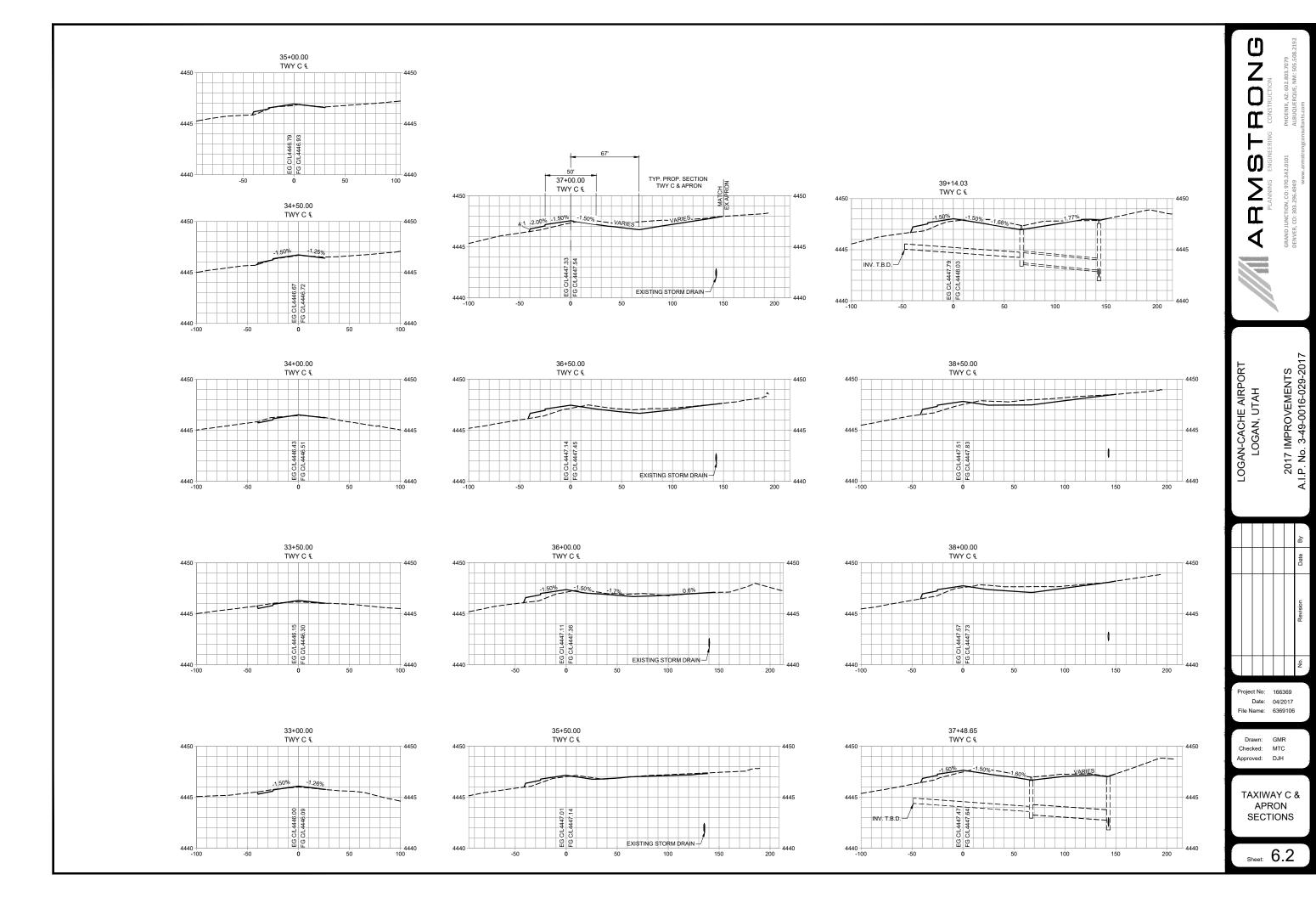


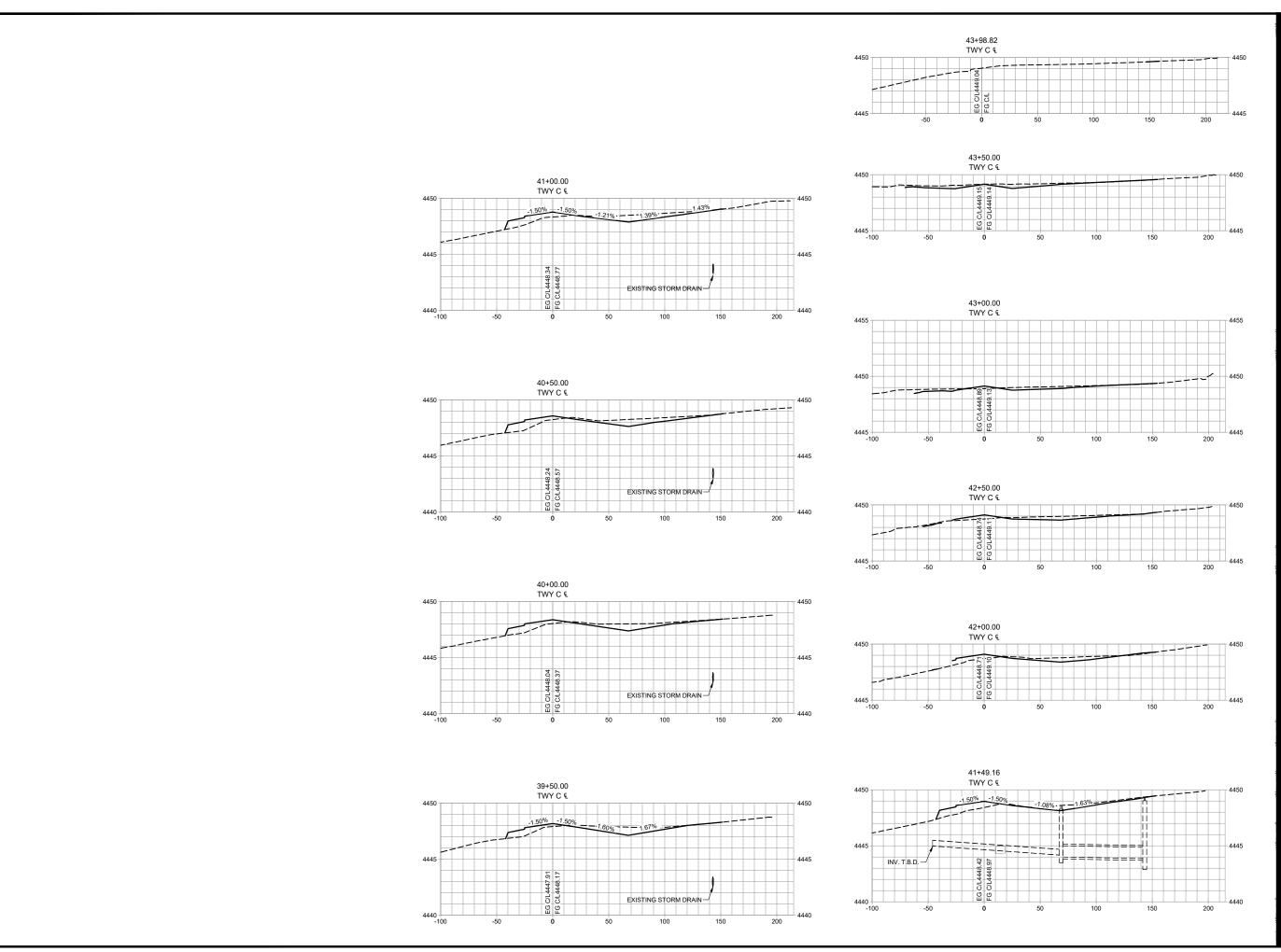
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**TAXIWAY C &** APRON **SECTIONS** 

Sheet: **6.1** 





**C**  $\Sigma$ 4

LOGAN-CACHE AIRPORT LOGAN, UTAH

Project No: 166369 Date: 04/2017 File Name: 6369106

Checked: MTC Approved: DJH

TAXIWAY C & APRON SECTIONS

Sheet: **6.3** 



ARANING ENGINEERING CONSTRUCTION
GRAND JUNCTION, CO: 970.242.0101
PHOENIX, AZ: 602.803.7079
ABUQUERQUE; MM: 595.508.2192

LOGAN-CACHE AIRPORT LOGAN, UTAH 2017 IMPROVEMENTS A.I.P. No. 3-49-0016-029-2017

Project No: 166369

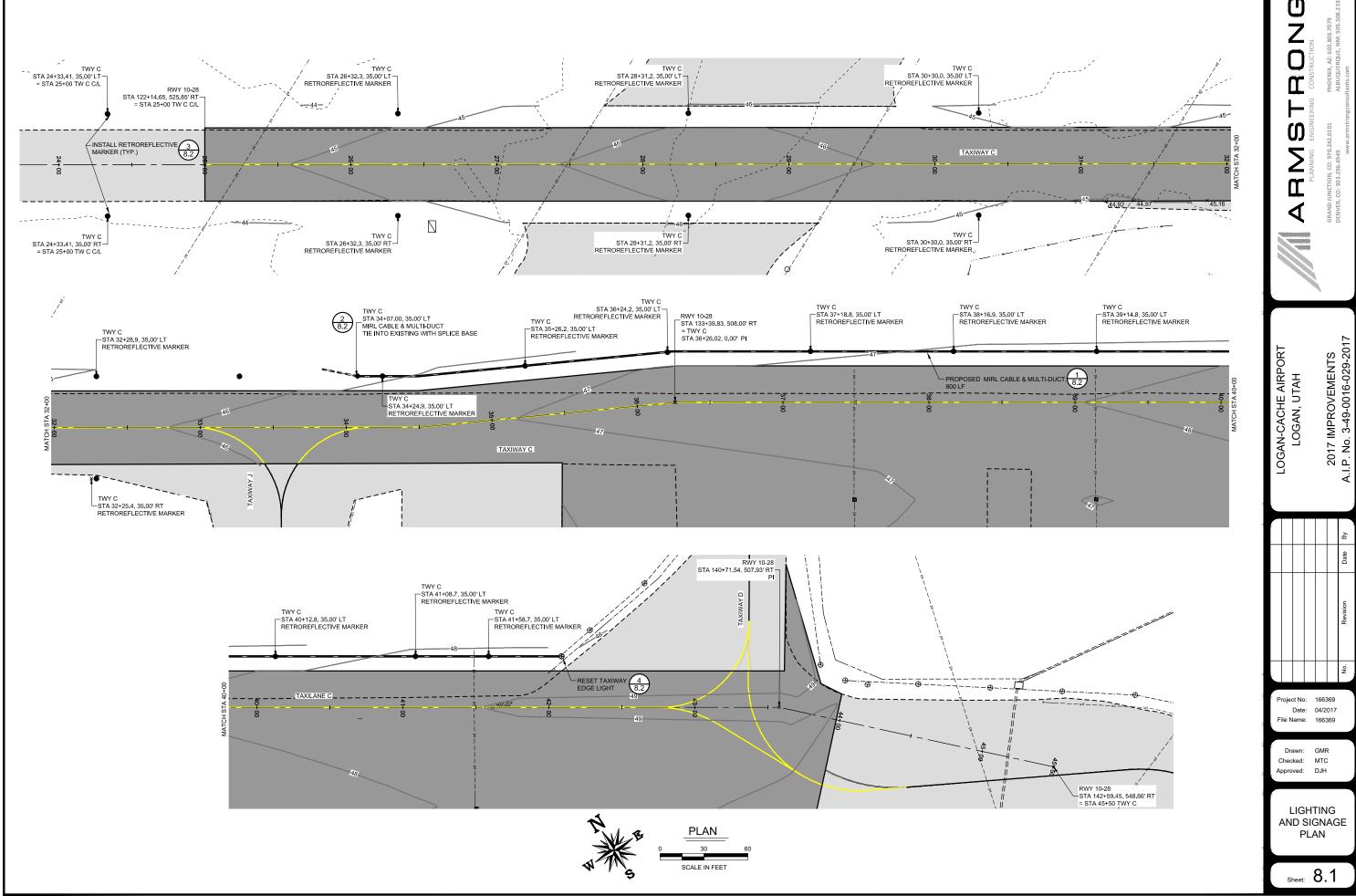
Date: 04/2017

File Name: 166369

Drawn: GMR Checked: MTC Approved: DJH

EXISTING STORM DRAIN PLAN

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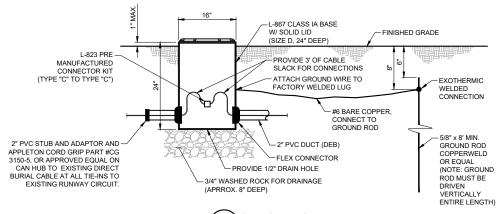
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Date: 04/2017 File Name: 166369

Approved: DJH

LIGHTING AND SIGNAGE PLAN

Sheet: 8.1



2 SPLICE BAS 8.2 NOT TO SCALE SPLICE BASE DETAIL

1 TRENCH & CABLE PLACEMENT 8.2 NOT TO SCALE

YELLOW, WHITE, OR BLUE

POLYETHYLENE PLASTIC TUBE 2" MIN. 8" MAX. DIA.

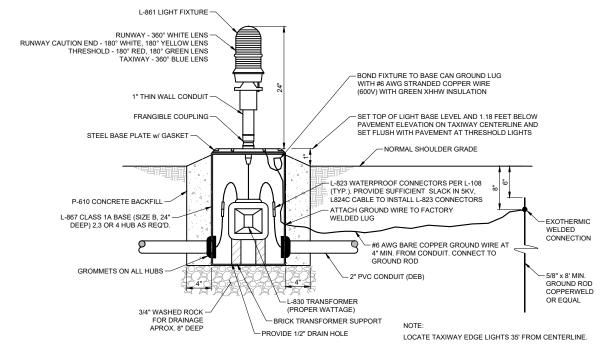
-REFLECTIVE TAPE (BLUE)

L-853 TYPE II MARKER

- CLOSED END ANCHOR 18" LONG GALVANIZED STEEL SOIL MOUNT

3 RETROREFLECTIVE MARKER 8.2 NOT TO SCALE

SET PLUMB AT 10' FROM PAVEMENT EDGE.



4 BASE MOUNTED L-861 LIGHT 8.2 NOT TO SCALE (MIRL CIRCUIT)

LOGAN-CACHE AIRPORT LOGAN, UTAH

2017 IMPROVEMENTS .P. No. 3-49-0016-029-2017

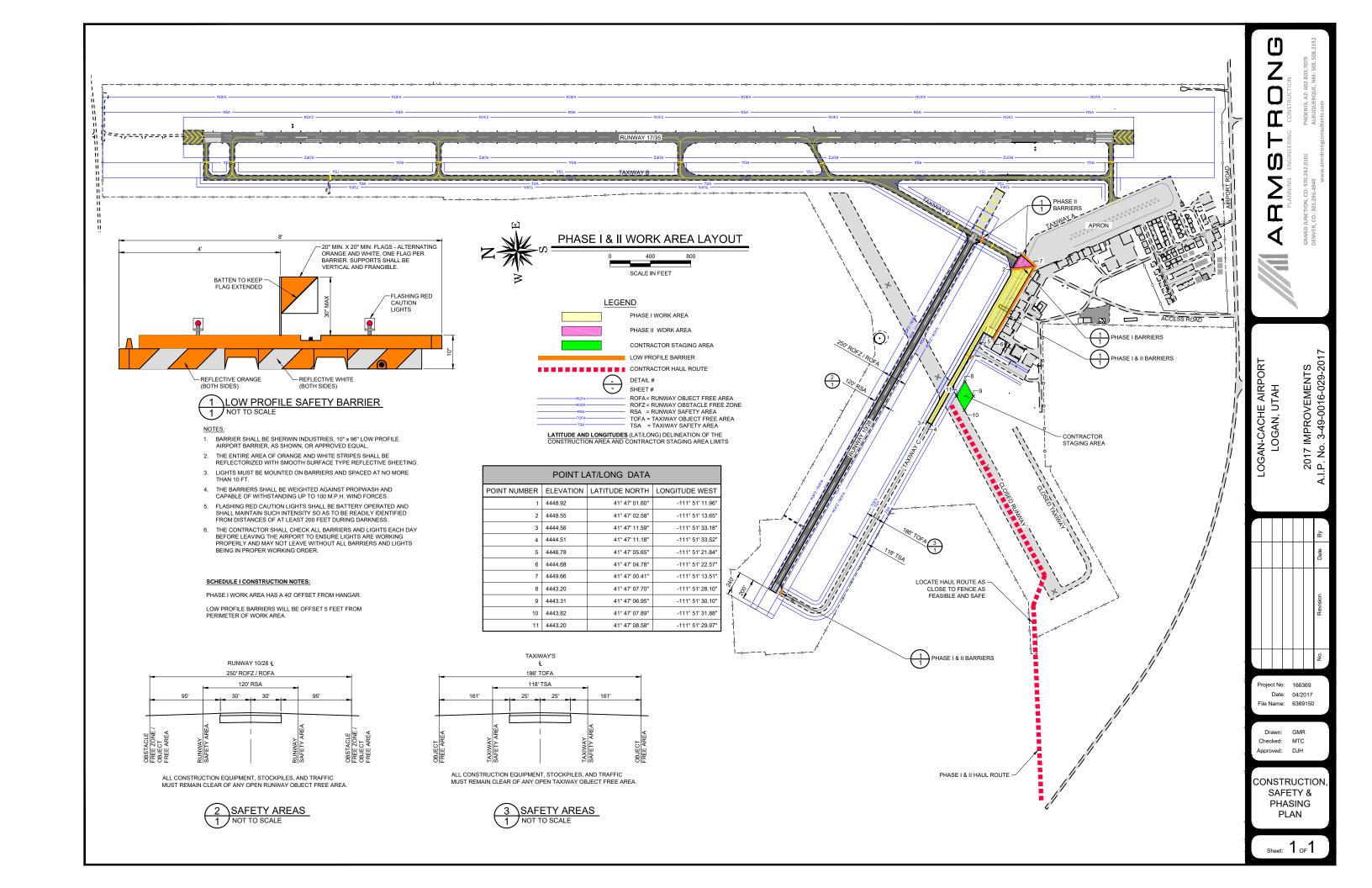
Project No: 166369 Date: 04/2017

File Name: 6369103

GMR Checked: MTC Approved: D.IH

LIGHTING AND SIGNAGE **DETAILS** 

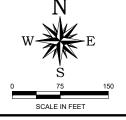
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## **ATTACHMENT C**



#### HANGAR DEVELOPMENT - ADG II / TDG-2





#### LOGAN-CACHE AIRPORT LOGAN, UTAH AIRPORT ROAD - HANGAR DEVELOPMENT

SCALE:	PER BAR SCALE	DATE: 12/2016
DRAWN:	LKB	FILE: Airport Road-Hangar-ADG2
CHK'D:	JZP	JOB NO.: \MISC.REQ.\Airport Road